

**STATEMENT OF THE APEX TOWN COUNCIL PURSUANT TO G.S. 160A-383
ADDRESSING ACTION ON ZONING PETITION #17CZ20**

Stuart Jones, Jones & Crossen Engineering, PLLC, owner/applicant (the "Applicant"), submitted a completed application for a conditional zoning on the 3rd day of July 2017 (the "Application"). The proposed conditional zoning is designated #17CZ20.

The Planning Director for the Town of Apex, Dianne Khin, caused proper notice to be given (by publication and posting) of a public hearing on #17CZ20 before the Planning Board held on the 9th day of July 2018.

Pursuant to G.S. §160A-384 and Sec. 2.2.11(E) of the Unified Development Ordinance, the Planning Director caused proper notice to be given (by publication and posting), of a public hearing on #17CZ20 before the Town Council on the 7th day of August 2018.

The Apex Planning Board held a public hearing on the 9th day of July 2018, gathered facts, received public comments and formulated a recommendation regarding the application for conditional zoning #17CZ20. A motion was made at the Apex Planning Board to recommend approval; the motion passed unanimously for the application for #17CZ20.

The Apex Town Council held a public hearing on the 7th day of August 2018. Amanda Bunce, Planning Manager presented the Planning Board's recommendation at the public hearing.

All persons who desired to present information relevant to the application for #17CZ20 and who were residents of Apex or its extraterritorial jurisdiction, or who owned property adjoining the property for which the conditional zoning is sought, were allowed to present evidence at the public hearing before the Apex Town Council. No one who wanted to speak was turned away.

The Town Council by a vote of 4 and 1 approved Application #17CZ20 rezoning the subject tract located at 0, 7013, 7019, 7021, 7029, & 7113 Roberts Road from Rural Residential (RR) to Planned Unit Development-Conditional Zoning (PUD-CZ).

The Apex Town Council finds that the approval of the rezoning is consistent with the 2030 Land Use Plan and other adopted plans in that: The 2030 Land Use Map designates this area as Medium Density Residential. This classification supports the uses and density proposed in the associated PD Plan. This designation on the 2030 Land Use Map includes the zoning district Planned Unit Development-Conditional Zoning (PUD-CZ) and the Apex Town Council has further considered that the proposed rezoning to Planned Unit Development-Conditional Zoning (PUD-CZ) will maintain the character and appearance of the area and provide the flexibility to accommodate the growth in population, economy, and infrastructure consistent with that contemplated by the 2030 Land Use Map.

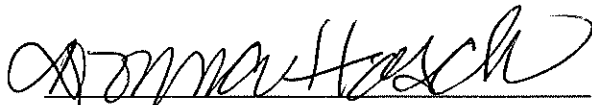
The Apex Town Council finds that the approval of the rezoning is reasonable and in the public interest in that it will allow for more variety in permitted residential uses in an area that is appropriate for

infill residential development. The rezoning is also in the public interest in that it provides for a percentage of townhomes constructed to be smaller in order to provide a more affordable housing option in Apex. The proposed rezoning includes conditions that will also maintain the residential character and appearance of the area and provide the flexibility to accommodate the growth in population, economy, and infrastructure consistent with that contemplated by the 2030 Land Use Map. The rezoning will encourage compatible development of the property and increase the tax base.



Lance Olive
Mayor

ATTEST:



Donna B. Hosch, MMC, NCCMC
Town Clerk



Date

ORDINANCE AMENDING THE OFFICIAL ZONING DISTRICT MAP OF THE TOWN OF APEX TO CHANGE THE ZONING OF APPROXIMATELY 35.6 ACRES LOCATED ON 0, 7013, 7019, 7021, 7029, & 7113 ROBERTS ROAD FROM RURAL RESIDENTIAL TO PLANNED UNIT DEVELOPMENT-CONDITIONAL ZONING

#17CZ20

WHEREAS, the application of Stuart Jones, Jones & Crossen Engineering, PLLC/SBTD Joint Venture, LLC petitioner, for the rezoning of lands hereinafter described was duly filed with the office of the Planning Director and thereafter a public hearing was held hereon on the 9th day of July 2018 before the Planning Board. Thereafter, the Planning Board submitted its final report to the Town Council recommending approval of said application for the rezoning of the lands hereinafter described, all in accordance with the requirements of the Town of Apex Unified Development Ordinance and the provisions of Chapter 160A, Article 19, of the North Carolina General Statutes. A public hearing was held on the 7th day of August 2018, before the Town Council. All public hearings were held pursuant to due notice mailed and published pursuant to G.S. § 160A-384; **NOW, THEREFORE**,

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF APEX

Section 1: The lands that are the subject of the Ordinance are those certain lands described in Attachment "A" – Legal Description which is incorporated herein by reference, and said lands are hereafter referred to as the "Rezoned Lands."

Section 2: The Town of Apex Unified Development Ordinance, including the Town of Apex, North Carolina Official Zoning District Map which is a part of said Ordinance, is hereby amended by changing the zoning classification of the "Rezoned Lands" from RR (Rural Residential) to PUD-CZ (Planned Unit Development-Conditional Zoning) District, subject to the conditions stated herein.

Section 3: The Planning Director is hereby authorized and directed to cause the said Official Zoning District Map for the Town of Apex, North Carolina, to be physically revised and amended to reflect the zoning changes ordained by this Ordinance.

Section 4: The "Rezoned Lands" are subject to the conditions in Attachment "B" Roberts Crossing PUD which are imposed as part of this rezoning and include the following two conditions added at the public hearing:

- A. If there is a community building for this project that requires or installs HVAC equipment and is located in an area designated on the Master Subdivision Plans as an amenity center or HOA Common Area, then that facility shall provide an active solar PV system that generates at least 3KW of energy.
- B. The developer shall provide a six foot high decorative wood fence along the southern property line adjacent to properties with the following Pin Numbers: 0733-31-6822, 0733-31-8864, 0733-41-1651, 0733-41-3689 and 0733-41-6890. This fence shall be part of the Type A Buffer and the landscape plan for the buffer shall include the fence installation. The fence will only follow the southern property line moving in a general east west direction. The finished side of the fence shall face the adjacent properties to the south.

Ordinance Amending the Official Zoning District Map #17CZ20
Page Two

Section 5: The "Rezoned Lands" shall be perpetually bound to the conditions imposed including the uses authorized, unless subsequently changed or amended as provided for in the Unified Development Ordinance. Site plans for any development to be made pursuant to this amendment to the Official Zoning District Map shall be submitted for site plan approval as provided for in the Unified Development Ordinance.

Section 6: This ordinance shall be in full force and effect from and after its adoption.

Motion by Council Member

Lilingsworth

Seconded by Council Member

Wong

With 5 Council Member(s) voting "aye."

With 0 Council Member(s) voting "no."

This the 21st day of August 2018.

TOWN OF APEX

Pence
Mayor

ATTEST:

Donna Horsch
Town Clerk

APPROVED AS TO FORM:

Randy
Town Attorney

Attachment "A"

**ROBERTS ROAD ASSEMBLAGE
REZONING AREA**

All that tract, piece or parcel of land lying and being situated in the Township of White Oak, Town of Apex, County of Wake, and State of North Carolina; being more particularly bounded and described as follows:

BEGINNING at a point marked by an iron pipe set on the southeastern right-of-way margin of NC 540 (an existing variable-width public right-of-way (NCDOT Project Reference: R-2635C; Deed Book 13838, pg 2632; Deed Book 14286, page 137)); said point also located on a southern line of lands of, now or formerly, NC Department of Transportation (Deed Book 7188, page 214; Book of Maps 1982, page 504); said point also being the **POINT OR PLACE OF BEGINNING** and having an North Carolina state plane coordinate of N 732,865.86'; E 2,033,172.29' (NAD 83 (2011)); thence; from said point of beginning, along said lands of NC Department of Transportation, and along lands of, now or formerly, Melanie J. Yelvington and Brian J.D. Enaman (Deed Book 6446, page 78), and along lands of, now or formerly, Don T. Poltras (Deed Book 8152, page 884), S 89°-46'-16" E 800.40' an existing iron pipe; thence, continuing along said lands of Poltras, the following two courses: 1) S 89°-46'-16" E 294.29' to an existing concrete marker; 2) N 01°-04'-10" E 92.00' to an existing iron pipe marking a southwestern corner of lands of, now or formerly, Dorothy P. Thorpe and Evelyn P. Moss; thence, along said lands of Thorpe and Moss, S 85°-20'-04" E 101.34' to an existing iron pipe with cap and tack located on the southwestern right-of-way margin of Roberts Road (NCSR 1608) (an existing variable-width public right-of-way (Deed Book 1930, page 234; Deed Book 1930, page 237)); thence, along the southwestern right-of-way margin of Roberts Road, the following seven courses: 1) S 21°-51'-59" E 87.02' to a point; 2) S 20°-02'-54" E 79.67' an existing bent iron pipe; 3) S 19°-06'-54" E 488.97' to a point; 4) S 19°-45'-28" E 116.38' to a point; 5) S 21°-56'-12" E 96.73' to a point marked by an iron pipe set; 6) S 27°-16'-20" E 96.84' to a point; 7) S 33°-46'-22" E 105.74' to a point; said point being a northeastern corner of lands of, now or formerly, Haley S. Hoffler (Deed Book 16229, page 1989; Book of Maps 2002, page 561); thence, along said lands of Hoffler, and along lands of, now or formerly, Jeanne S. Collier and spouse, Matthew G. Collier (Deed Book 9665, page 1585), S 89°-59'-35" W 515.70' to an existing leaning iron pipe located in an eastern line of lands of, now or formerly, Peter Beal and

ROBERTS ROAD ASSEMBLAGE
REZONING AREA

wife, Penny Beal (Deed Book 11882, page 2654; Book of Maps 1982, page 595); thence, along said lands of Beal, N 00°-51'-35" E 22.67' to a nail the base of an existing iron pipe; thence, continuing along said lands of Beal, and along lands of, now or formerly, Joseph Mack Jones and wife, Carrie Anne Morton Jones (Deed Book 13825, page 905; Book of Maps 1988, page 415), and along lands of, now or formerly, Harold W. Meder and wife, N. Janis Meder (Deed Book 4264, page 659), N 86°-26'-25" W 657.48' to an iron pipe set; thence, continuing along said lands of Meder, N 86°-26'-25" W 107.90' to an existing 2-inch Iron pipe; thence, continuing along said lands of Meder, and along lands of, now or formerly, Lillie Upchurch, Trustee for the heirs of Francis Fuller (Deed Book 4226, page 29), and along lands of, now or formerly, Harry H. Whitfield, Jr. and wife, Priscilla D. Whitfield (Deed Book 5696, page 345), S 01°-42'-49" E 680.62' to an existing bent iron pipe marking a northeastern corner of lands of, now or formerly, Pine Top, LLC (Deed Book 13003, page 1155; Book of Maps 2008, page 303); thence, along said lands of Pine Top, the following three courses: 1) N 88°-42'-44" W 394.39' to an existing iron pipe; 2) N 01°-38'-42" E 985.54' to an existing iron pipe; 3) S 88°-36'-02" W 174.81' to an existing iron bar marking a southeastern corner of lands of, now or formerly, North Carolina Turnpike Authority (NCTA) & North Carolina Department of Transportation (NCDOT) (Deed Book 13870, page 2185; Book of Maps 1998, page 900); thence along said lands of NCTA and NCDOT, N 02°-03'-56" W 115.65' to an iron pipe set on the southeastern right-of-way margin of NC 540; thence, along the southeastern right-of-way margin of NC 540, the following four courses: 1) N 33°-02'-47" E 91.05' to an existing right-of-way disk; 2) N 27°-11'-44" E 51.94' to an existing right-of-way disk; 3) N 19°-56'-13" E 245.05' to an existing right-of-way disk; 4) N 38°-47'-08" E 81.42' to the point or place of beginning; containing 1,550,765 square feet, or 35.601 acres of land, more or less, as shown on a PRELIMINARY survey titled "ALTA/NSPS LAND TITLE SURVEY of the Lands of Roberts, Roberts, Braswell, and Heirs of Fuller", dated March 27, 2017, and prepared by MSS Land Consultants, PC.

PD PLAN

ROBERTS CROSSING A PLANNED UNIT DEVELOPMENT

APEX, NORTH CAROLINA

OWNER/DEVELOPER:

SBTD Joint Venture, LLC

ORIGINALLY ISSUED: July 3, 2017

Revised: March 8, 2018

June 6, 2018

June 25, 2018

July 2, 2018

August 7, 2018

Jones & Crossen Engineering, PLLC

221 N. Salem Street, Suite 001

P.O. Box 1062

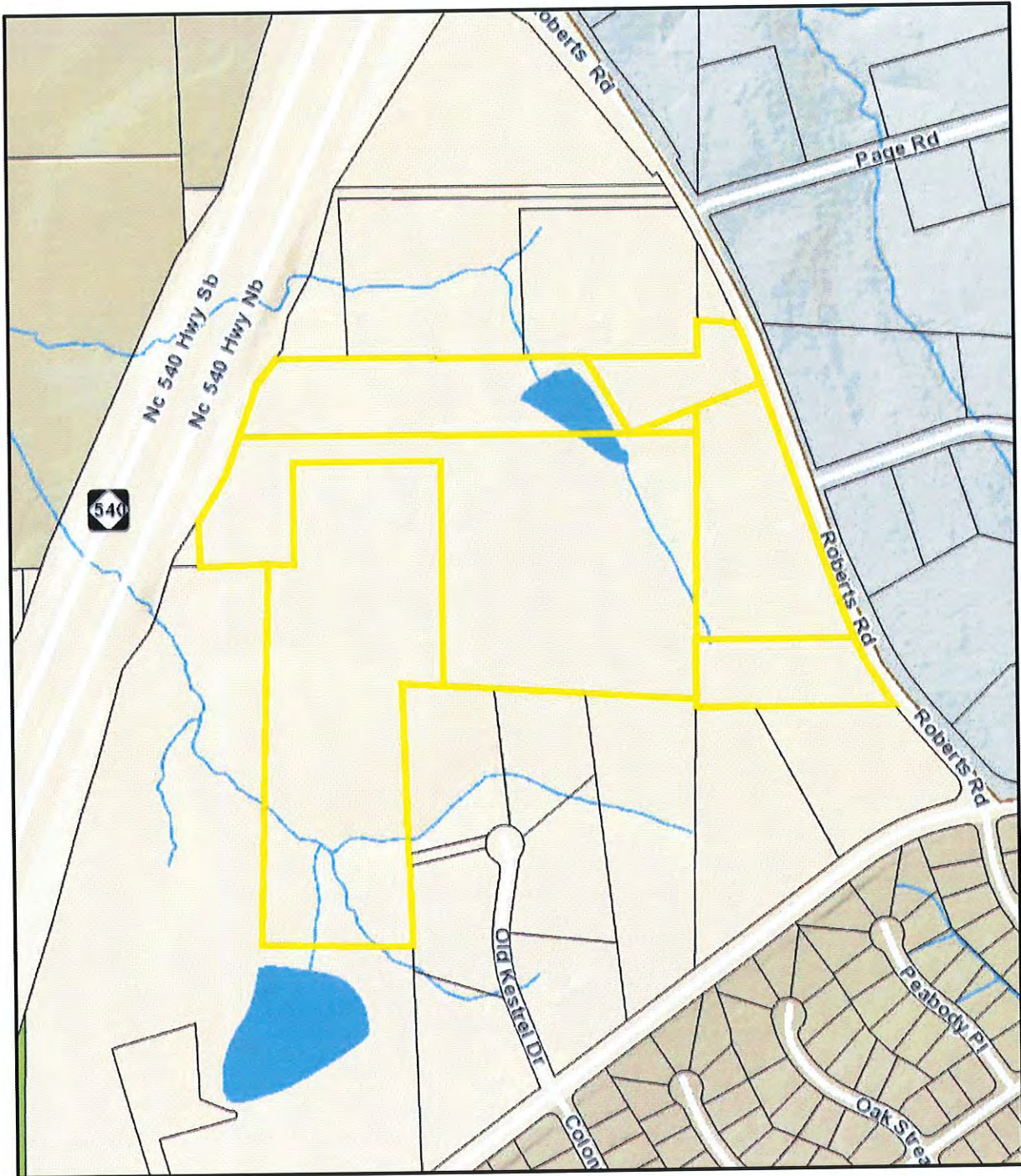
Apex, NC 27502

(919)387-1174

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SECTION 2 – VICINITY MAP



SECTION 3 – PROJECT DATA

- A. Project name: **Roberts Crossing PUD**
- B. Owner/Developer SBTD Joint Venture, LLC
 PO Box 14208
 Sanford, NC 27331
- C. Prepared by: Jones & Clossen Engineering, PLLC
 P.O. Box 1062, 221 N. Salem Street, Suite 001
 Apex, NC 27502
 (919) 387-1174
- D. Designated Single Point of Contact:
 Stuart M. Jones (Jones & Clossen Engineering, PLLC)
- E. Current and Proposed Zoning of the Property:
 Current zoning: Rural Residential
 Proposed zoning: PUD-CZ
- F. Current and Proposed Land Uses:
 Current: Residential, Vacant
 Proposed: Residential
- G. Current and Proposed 2030 Land Use Designation.
 Current: Medium Density Residential
 Proposed: Medium Density Residential

SECTION 4 – PURPOSE STATEMENT

Roberts Crossing PUD is a proposed residential project to be developed under the Town of Apex ordinance as a Planned Unit Development (PUD). The project contains several parcels under contract by SBTD Joint Venture, LLC. The project is located along Roberts Road and includes some frontage along NC 540. These parcels are all designated as Medium Density Residential on the 2030 Land Use Map.

The proposal to rezone this property to PUD-CZ is in keeping with the Town's objectives to create high quality developments with a small town feel. This development will be a pedestrian friendly community with sidewalks along both sides of the internal public streets and multiple sidewalk connections to public sidewalks along Roberts Road. The project shall include a community garden area and a community gathering area and these areas will be owned and maintained by the HOA. This development will enhance the value of the surrounding properties by providing quality residential development for the area.

SECTION 5 – PERMITTED USES

The Town of Apex UDO allows a mixture of uses in the PUD zoning district and the owners have chosen to further restrict the allowable uses as listed below:

Residential Uses

Single family (Min. lot width = 50 feet, Min. lot size = 5,000 sf and Avg. lot size = 6,000 sf)

Townhouse (Min. lot width = 18 feet)

Townhouse detached (Min. lot width = 22 feet)

Accessory apartment

Utilities

Utility, minor

Recreational Uses

Greenway

Park, active

Park, passive

Recreational facility, private

SECTION 6 – DESIGN CONTROLS

A. Maximum Densities

Maximum residential density for the project is 4.7 units per gross acre.

B. Proposed Maximum Height of the Buildings and Number of Stories

Residential Uses: Maximum height – 42'

Maximum stories – 3

C. Proposed Minimum Building Setbacks

Residential Single Family Detached

From Buffer or RCA – 10'

Front Yard – 10' Minimum

Side Yard – 5' Minimum (no aggregate)

Corner Side Yard – 10' Minimum

Rear Yard – 10' Minimum

Driveways from back of sidewalk to garage – 20' (12' min. width)

Townhouse

From Buffer or RCA – 10'

Front – 15'

Driveways from back of sidewalk to garage – 20' (12' min. width)

Rear – 15'

Side (end units) – 5'
Side (corner) – 10'

D. Percentage of Built upon Area

The UDO allows for a maximum 70 percent of built upon area in a PUD project and the Roberts Crossing PUD will not exceed that amount.

E. Perimeter Buffers

The PD plans show buffers around the site to provide visual breaks between uses and public roads. We are proposing a 30 foot Type B buffer along Roberts Road. The buffers shown are generally more dense than the current UDO with 20 foot Type A buffers around the north and south perimeter of the site. The western perimeter buffer is consistent with the UDO and is a 20 foot Type B buffer. The buffer along NC 540 is a 100 foot Type A buffer and is fully wooded and with additional plantings will provide good screening from the highway.

The developer shall provide a six foot high decorative wood fence along the southern property line adjacent to properties with the following Pin Numbers: 0733-31-6822, 0733-31-8864, 0733-41-1651, 0733-41-3689 and 0733-41-6890. This fence shall be part of the Type A Buffer and the landscape plan for the buffer shall include the fence installation. The fence will only follow the southern property line moving in a general east west direction. The finished side of the fence shall face the adjacent properties to the south.

F. Percentage of Resource Conservation Area

The Roberts Crossing PUD is providing at least 25% of the total area for Resource Conservation Area and landscape buffers. If any section of residential single family detached lots is mass graded, then that section shall dedicate an additional 2% RCA.

G. Economy Housing Condition

Where economy housing is housing that can be purchased by a household that earns approximately the median household income for Wake County, Roberts Crossing PUD will address economy housing by providing at least five percent of all townhome units as one car garage units that are at least eighteen feet wide and are at least fifteen percent smaller than the average townhome unit as measured by unit width. These economy units will be mixed throughout the development and will not be restricted in sales.

H. Community Building Solar

If there is a community building for this project that requires or installs HVAC equipment and is located in an area designated shown on the Master Subdivision Plans as an

amenity center or HOA Common Area, then that facility shall provide an active solar PV system that generates at least 3KW of energy.

SECTION 7 – ARCHITECTURAL STANDARDS

Single Family Detached Residential Standards

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. At least 70 percent of the single family residential detached units shall have a crawl space or a raised slab with a finished floor elevation at least 20 inches above the average grade across the front of the house at the front door. The lots that meet this standard shall be indicated on the construction drawings. Any home that does not have a crawl space or raised slab shall provide a downstairs master bedroom.
3. Garage doors must contain windows, decorative details or carriage-style adornments.
4. House entrances for homes with front facing single-car garages must have a covered porch/stoop area leading to the front door.
5. The garage cannot protrude more than one foot out from the front façade and front porch unless it is a side entry garage.
6. The visible side of a home on a corner lot facing the public street shall contain at least 2 decorative elements such as, but not limited to, the following elements:
 - Windows
 - Bay window
 - Recessed window
 - Decorative window
 - Trim around the windows
 - Wrap around porch or side porch
 - Two or more building materials
 - Decorative brick/stone
 - Decorative trim
 - Decorative shake
 - Decorative air vents on gable
 - Decorative gable
 - Decorative cornice
 - Column
 - Portico
 - Balcony
 - Dormer
7. All windows on a side elevation shall have decorative trim, shutters or shall be a bay window. All windows on a rear elevation that can be seen from the right-of-way shall have decorative trim.
8. Front porches shall be a minimum of 6 feet deep.
9. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
10. Eaves shall project at least 12 inches from the wall of the structure.

11. The roof shall be pitched at 5:12 or greater for 75% of the building designs.
12. All homes shall provide conduit for the future installation of roof top solar panels.

Townhome Residential Standards

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. All townhomes shall have a crawl space or have a raised foundation which at a minimum rises at least 12 inches from average grade across the front of the house to the finished floor level at the front door.
3. Garage doors must contain windows, decorative details or carriage-style adornments.
4. House entrances for homes with front facing single-car garages must have a covered porch/stoop area leading to the front door.
5. The garage cannot protrude more than one foot out from the front façade and front porch unless it is a side entry garage.
6. The visible side of a townhome on a corner lot facing the public street shall contain at least 2 decorative elements such as, but not limited to, the following elements:
 - Windows
 - Bay window
 - Recessed window
 - Decorative window
 - Trim around the windows
 - Wrap around porch or side porch
 - Two or more building materials
 - Decorative brick/stone
 - Decorative trim
 - Decorative shake
 - Decorative air vents on gable
 - Decorative gable
 - Decorative cornice
 - Column
 - Portico
 - Balcony
 - Dormer
7. All windows on a side elevation shall have decorative trim, shutters or shall be a bay window. All windows on a rear elevation that can be seen from the right-of-way shall have decorative trim.
8. Roofline cannot be a single mass; it must be broken up either horizontally or vertically between every other unit.
9. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of two color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
10. All homes shall provide conduit for the future installation of roof top solar panels.

SECTION 8 – PARKING AND LOADING

Guest parking shall be distributed so that there is at least one guest parking space within

200' of each townhome lot.

Parking and loading requirements for the residential areas shall conform to the parking standards listed in the Town of Apex UDO Section 8.3.

SECTION 9- SIGNS

Signage for this project will comply with UDO section 8.7. The developer shall submit a master sign plan that shows signage locations and details of signage patterns throughout the development.

SECTION 10 – NATURAL RESOURCE AND ENVIRONMENTAL DATA:

- A. This project is located in the Little Beaver Creek drainage basin which is in the Cape Fear Basin. This project currently falls within the secondary watershed protection overlay district as shown on Town of Apex watershed maps.
- B. There is no FEMA mapped floodplain on the site as shown on FEMA FIRM Map Number 3720072100J, dated May 2, 2006.
- C. There are no known historic structures on this project.
- D. The PUD will provide buffers along Roberts Road and NC 540 which will be used for decorative plantings and aesthetic appeal. Individual sections within the development may also have additional landscape areas located on the site based upon their specific site or subdivision plan. The PUD will dedicate at least 25% of the area of the PUD for Resource Conservation Area or buffer.

SECTION 11 – STORMWATER MANAGEMENT

Roberts Crossing PUD will meet all applicable requirements and standards as described in section 6.1 of the Apex UDO. This project will meet all stormwater reduction requirements including limiting the post-development stormwater flows to not exceed the pre-development stormwater runoff.

Roberts Crossing PUD will use approved devices to control the stormwater and sediment runoff. These devices may include detention ponds, retention ponds, bioretention areas or any other approved stormwater control measure. Stormwater control devices shall be landscaped and constructed to be an amenity to the development and shall blend into the surroundings.

SECTION 12 – PARKS AND RECREATION

The project was reviewed by the PRCR Advisory Commission on July 26th and the Commission recommended a fee-in-lieu for recreation land dedication based on the number of units and types proposed at the time of Master Subdivision Approval. The fee rate will be based on the rate of the current year when the PUD is approved by Town Council.

SECTION 13 – PUBLIC FACILITIES

All internal public streets will have sidewalks on both sides of the street. Roadway stub streets to adjacent properties will be provided for future connectivity as shown on the PD Plans.

From the TIA:

Developer shall coordinate with NCDOT concerning all planned improvements on state maintained highways. Developer shall widen Roberts Road along the project frontage based on a 41 foot (3 lane) curb and gutter section with sidewalk on the project side. In some cases, zoning conditions are subject to NCDOT review and approval and may change to conform to NCDOT approvals.

Roberts Road and Trelawney Lane/Future Access #1

- Developer shall construct northbound and southbound exclusive left turn lanes on Roberts Road with a minimum of 50 feet of storage each.

Roberts Road and Future Access #2

- Developer shall construct Future Access #2 as a right-in/right-out only channelized intersection with a wide center island according to NCDOT standards or a 4 foot minimum monolithic concrete median on Roberts Road extending beyond the intersection radii.
- The access shall be located a minimum of 500 feet south of Future Access #1.

As shown on the PUD Utility Plans, the sanitary sewer connection will come by extending the proposed sewer outfall on the west side of NC 540 from west to east across NC 540. Water distribution service will be provided to this project by the extension of a twelve inch waterline along Roberts Road from the intersection with Jenks Road.

Any development plans made pursuant to this amendment to the official Zoning District Map shall comply with the adopted Comprehensive Transportation Plan in effect at the time of development approval as provided for in the UDO.

SECTION 14 – PHASING

The project shall be developed in at least four phases. The development of Phase 1 may be the first phase developed because of the availability of sewer service and the access to Roberts Road. Phase 1 construction would likely start in 2018. Other development will depend to a large amount on the market demand for residential uses.

SECTION 15 – CONSISTENCY WITH LAND USE PLAN

The Town of Apex 2030 Land Use Map currently designates these parcels as Medium Density Residential. This PUD proposal is appropriate for the area and is consistent with the current 2030 Land Use Map.

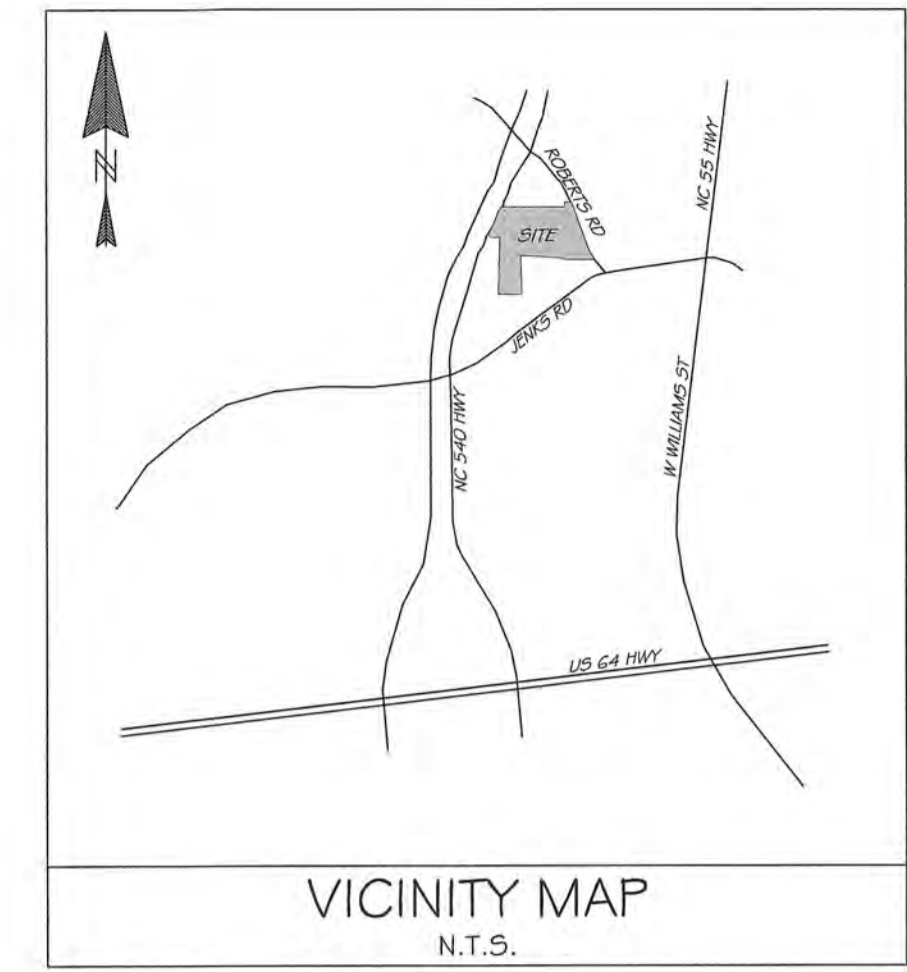
SECTION 16 – COMPLIANCE WITH THE UDO

The proposed plans for Roberts Crossing PUD are in compliance with the standards and allowances provided in the current approved version of the Town of Apex Unified Development Ordinance. Any variance from UDO requirements has been noted in this plan.

SECTION 17 – LAND USE NOTES

- A. This project will require the formation of a Homeowners Association which will handle the maintenance of common areas, buffers, RCA, stormwater devices, etc.
- B. The existing houses on the property will be either moved or removed from the site.

ROBERTS CROSSING PUD



SITE DATA	
PROJECT NAME	ROBERTS CROSSING PUD
PREPARED BY CONTACT INFORMATION	JONES & CROSSEN ENGINEERING, PLLC P.O. BOX 1062 APEX, NORTH CAROLINA 27502 PHONE - (919) 387-1174 FAX - (919) 387-3375 CONTACT PERSON - STUART M. JONES
OWNER / DEVELOPER CONTACT INFORMATION	SBTD JOINT VENTURE, LLC P.O. BOX 4208 SANFORD, NC 27331 PHONE - (919) 775-3147 CONTACT PERSON - JAMES TUCKER
CURRENT 2030 LAND USE MAP DESIGNATION	MEDIUM DENSITY RESIDENTIAL
PROPOSED 2030 LAND USE MAP DESIGNATION	MEDIUM DENSITY RESIDENTIAL
AREA DESIGNATED AS MIXED USE ON 2030 LUM	0 ACRES
CURRENT ZONING	RURAL RESIDENTIAL
PROPOSED ZONING	PUD-CZ
WAKE COUNTY PINS	0733: 32-3058, 32-9316, 32-6797 42-1758, 42-2608, 42-4410
TOTAL PROJECT AREA	35.60 ACRES
ROBERTS ROAD R/W DEDICATION	0.49 ACRES
NET PROJECT AREA	35.11 ACRES
MAXIMUM NUMBER OF LOTS FOR PUD	158 (4.7 LOTS/ACRE)
TOTAL RCA / BUFFER AREA REQUIRED FOR PUD	8.78 AC (25.0%)
MAXIMUM BUILT UPON AREA FOR PUD	24.58 AC (70%)
PUBLIC RECREATION REQUIREMENT	SINGLE FAMILY DETACHED UNITS @ \$3,286.33 SINGLE FAMILY ATTACHED UNITS @ \$2,200.58
WATERSHED INFORMATION	PRIMARY & SECONDARY
FEMA FLOODPLAIN INFORMATION	MAP #37200733001 (DATED MAY 2, 2006) PROJECT IS NOT WITHIN 100 YEAR FLOODPLAIN.
HISTORIC STRUCTURE?	NO
MAXIMUM BUILDING HEIGHT	42'
PARKING PROPOSED	PER UDO SECTION 8.3
PRCR ADVISORY COMMISSION	RECOMMENDED FEE-IN-LIEU

NOTES:

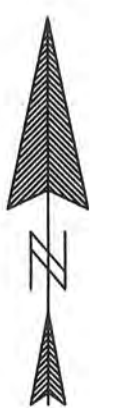
- BOUNDARY AND TREE SURVEY INFORMATION TAKEN FROM SURVEYS PROVIDED BY MSS LAND CONSULTANTS.
- TOPOGRAPHIC INFORMATION TAKEN FROM TOWN OF APEX LIDAR TOPOGRAPHY.
- WETLANDS AND STREAM BUFFER INFORMATION FROM FIELD INVESTIGATION.
- BEFORE DEMOLITION OF EXISTING STRUCTURES/SITE FEATURES SUCH AS FENCING ARE IMPLEMENTED, THE TREE PROTECTION FENCING IS TO BE PERMITTED, INSTALLED AND INSPECTED PRIOR TO ANY OF THE DEMOLITION WORK. IF THERE ARE EXISTING TREES IN THE BUFFERS WHERE THE FENCING WILL BE REMOVED, FENCING IS TO BE REMOVED BY HAND.

TRAFFIC CAPACITY ZONING CONDITIONS:

- DEVELOPER SHALL COORDINATE WITH NCDOT CONCERNING ALL PLANNED IMPROVEMENTS ON STATE MAINTAINED ROADWAYS. DEVELOPER SHALL WIDEN ROBERTS ROAD ALONG THE PROJECT FRONTAGE BASED ON A 41-FOOT(3-LANE) CURB AND GUTTER SECTION WITH SIDEWALK. IN SOME CASES, ZONING CONDITIONS ARE SUBJECT TO NCDOT REVIEW AND APPROVAL AND MAY CHANGE TO CONFORM TO NCDOT APPROVALS.
- ROBERTS ROAD AND TRELAWNEY LANE/FUTURE ACCESS #1
DEVELOPER SHALL CONSTRUCT NORTHBOUND AND SOUTHBOUND EXCLUSIVE LEFT TURN LANES ON ROBERTS ROAD WITH A MINIMUM OF 50 FEET OF STORAGE EACH.
- ROBERTS ROAD AND FUTURE ACCES #2
DEVELOPER SHALL CONSTRUCT FUTURE ACCESS #2 AS A RIGHT-IN/RIGHT-OUT ONLY CHANNELIZED INTERSECTION WITH A WIDE CENTER ISLAND ACCORDING TO NCDOT STANDARDS OR A 4-FOOT MINIMUM MONOLITHIC CONCRETE MEDIAN ON ROBERTS ROAD EXTENDING BEYOND THE INTERSECTION RADII. THIS ACCESS SHALL BE LOCATED A MINIMUM OF 500 FEET SOUTH OF FUTURE ACCESS #1.

PD PLAN - DRAWING SHEET INDEX

- COVER SHEET
- LAYOUT PLAN
- EXISTING CONDITIONS PLAN
- PHASING PLAN
- UTILITY PLAN



SCALE	NTS	DRAWN	SMJ
DATE	JULY 3, 2017		
REVISION	3/5/18	PER	TRC
6/6/18	NOTES		
SHEET	1		
PROJECT	1646		



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 2. SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS BUT NOT LIMITED TO PLAY FIELDS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS, ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT.
 3. ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
 4. NO SIGNS ARE APPROVED AS PART OF A PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED.

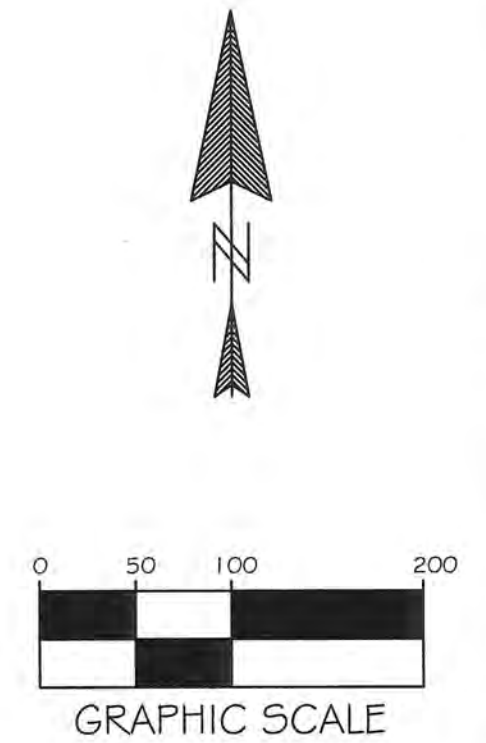
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 2. TOPOGRAPHIC INFORMATION TAKEN FROM TOWN OF APEX LIDAR TOPOGRAPHY.
 3. WETLANDS AND STREAM BUFFER INFORMATION FROM FIELD INVESTIGATION. STREAM BUFFERS REVIEWED AND APPROVED BY THE TOWN OF APEX UNDER PROJECT # 17-007.
 4. BEFORE DEMOLITION OF EXISTING STRUCTURES/SITE FEATURES SUCH AS FENCING ARE IMPLEMENTED, THE TREE PROTECTION FENCING IS TO BE PERMITTED, INSTALLED AND INSPECTED PRIOR TO ANY OF THE DEMOLITION WORK. IF THERE ARE EXISTING TREES IN THE BUFFERS WHERE THE FENCING WILL BE REMOVED, FENCING IS TO BE REMOVED BY HAND.

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ROBERTS CROSSING PUD
PD PLANS
EXISTING CONDITIONS PLAN

WAKE COUNTY, NORTH CAROLINA
TOWN OF APEX



SCALE	1" = 100'	DRAWN	SMJ
DATE	JULY 3, 2017		
REVISION	3/8/18	PER	TRC
	6/6/18	BUFFER #	NOTE
SHEET	3		
PROJECT	1646		



TOWN REQUIRED PUD NOTES:

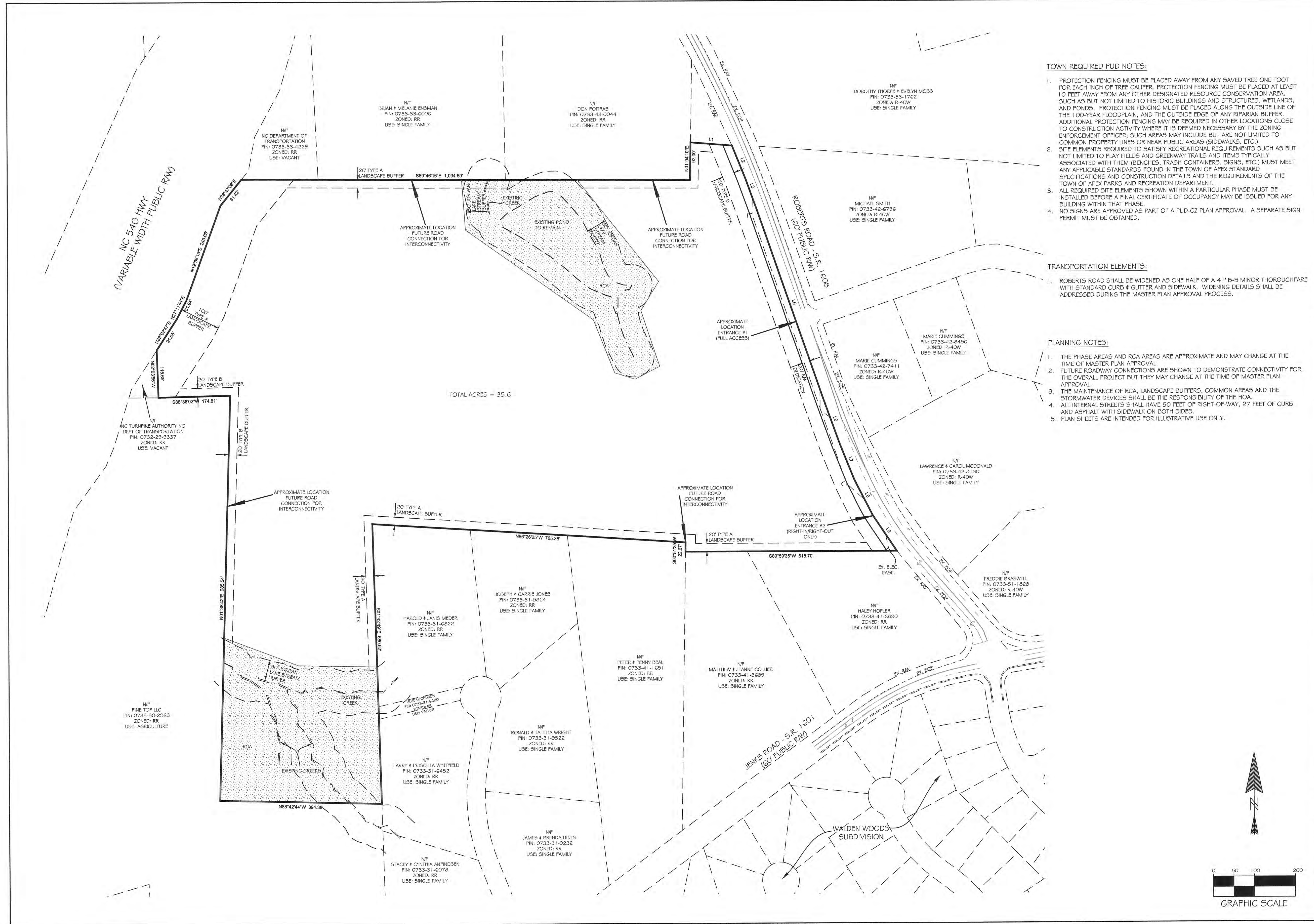
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3. ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
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TRANSPORTATION ELEMENTS:

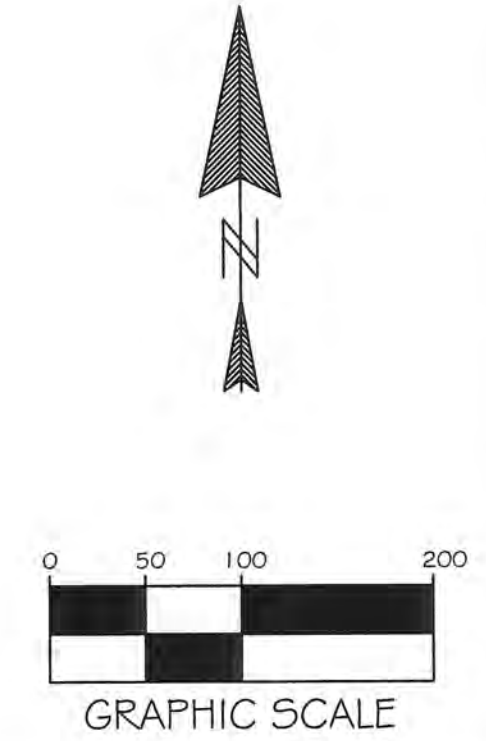
1. ROBERTS ROAD SHALL BE WIDENED AS ONE HALF OF A 41' B-B MINOR THOROUGHFARE WITH STANDARD CURB & GUTTER AND SIDEWALK. WIDENING DETAILS SHALL BE ADDRESSED DURING THE MASTER PLAN APPROVAL PROCESS.

PLANNING NOTES:

1. THE PHASE AREAS AND RCA AREAS ARE APPROXIMATE AND MAY CHANGE AT THE TIME OF MASTER PLAN APPROVAL.
2. FUTURE ROADWAY CONNECTIONS ARE SHOWN TO DEMONSTRATE CONNECTIVITY FOR THE OVERALL PROJECT BUT THEY MAY CHANGE AT THE TIME OF MASTER PLAN APPROVAL.
3. THE MAINTENANCE OF RCA, LANDSCAPE BUFFERS, COMMON AREAS AND THE STORMWATER DEVICES SHALL BE THE RESPONSIBILITY OF THE HOA.
4. ALL INTERNAL STREETS SHALL HAVE 50 FEET OF RIGHT-OF-WAY, 27 FEET OF CURB AND ASPHALT WITH SIDEWALK ON BOTH SIDES.
5. PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY.



TOTAL ACRES = 35.6



NC 540 HWY
(VARIABLE WIDTH PUBLIC RW)

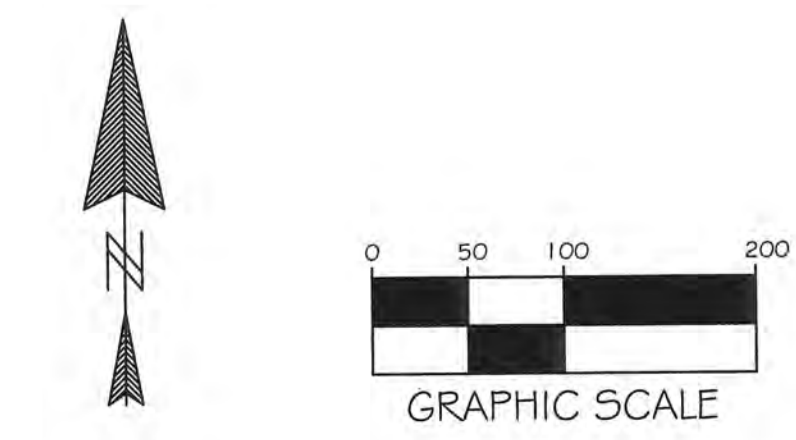


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- PHASING NOTES:**
1. THE PHASES SHALL DEVELOP IN A MANNER THAT MEETS THE ACCESS REQUIREMENTS OF THE TOWN OF APEX UDO.
 2. THE PHASE NUMBERS ARE DIAGRAMMATIC ARE NOT NECESSARILY THE ORDER IN WHICH THE PHASES WILL BE CONSTRUCTED. THE DEVELOPER HAS THE ABILITY TO DEVELOP THESE PHASES IN ANY ORDER.





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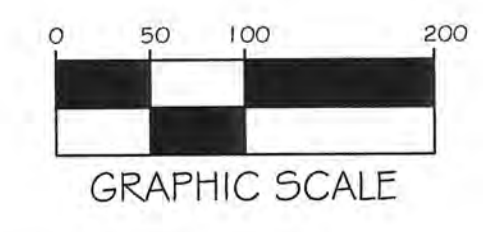
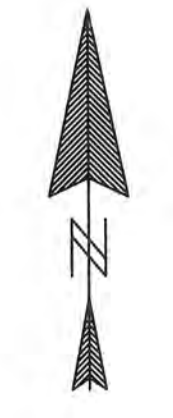
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5. THE FUTURE LOCATIONS FOR WATER AND SEWER MAINS ARE APPROXIMATE AND SHALL BE DESCRIBED IN MORE DETAIL AT THE TIME OF MASTER PLANS. THESE UTILITY LOCATIONS ARE ILLUSTRATIVE TO SHOW CONNECTIONS AND SIZING.
6. CONTACT FOR TOWN OF APEX ELECTRIC UTILITIES IS RODNEY SMITH AT 249-3342.

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ROBERTS CROSSING PUD
PD PLANS
SCHEMATIC UTILITY PLAN

SCALE	1" = 100'	DRAWN	SMJ
DATE	JULY 3, 2017		
REVISION	3/6/18	PER	TRC
	6/6/18	BUFFERS + RCA	
SHEET	5		
PROJECT	1646		





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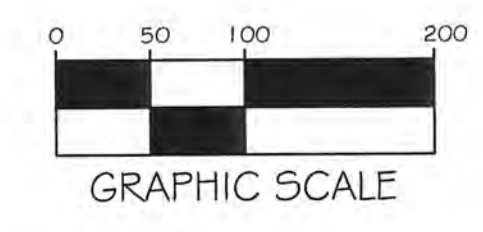
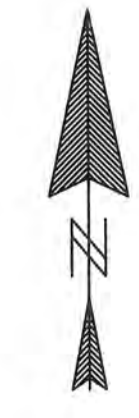
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ROBERTS CROSSING PUD
PD PLANS
SCHEMATIC UTILITY PLAN

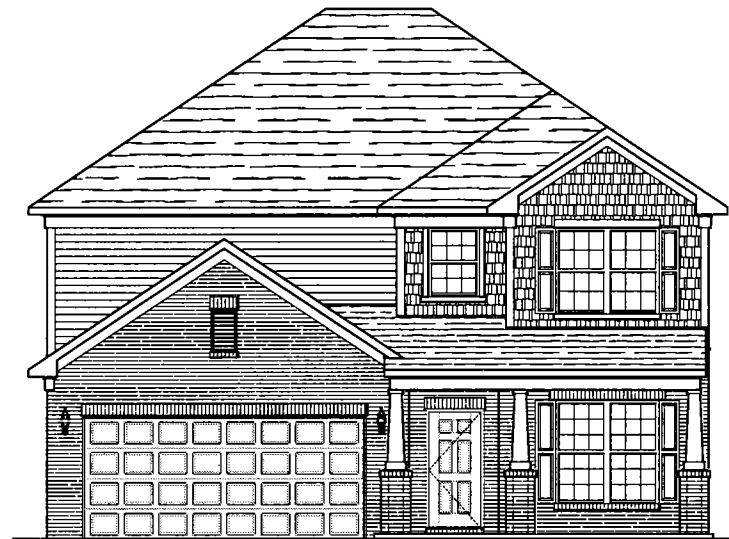
SCALE	DRAWN
1" = 100'	SMJ
DATE	JULY 3, 2017
REVISION	PER TRC
6/6/18	BUFFERS + RCA
5	
PROJECT	1646







Elevation 3



Elevation 8



Elevation 9



Elevation 4



Elevation 11



Elevation 13

CONTINENTAL

Maximum building height is 42'



Elevation 51



Elevation 52



Elevation 53



Elevation 54



Elevation 55



Elevation 56

CONTINENTAL

Maximum building height is 42'



Elevation 57



Elevation 58



Elevation 59



Elevation 60



Elevation 12



Elevation 15

CONTINENTAL

Maximum building height is 42'



Elevation 2



Elevation 4



Elevation 5



Elevation 7



Elevation 8



Elevation 11

MERCER

Maximum building height is 42'



Elevation 51



Elevation 52



Elevation 53



Elevation 54



Elevation 55



Elevation 56

MERCER

Maximum building height is 42'



Elevation 57



Elevation 58



Elevation 59



Elevation 60



Elevation 12



Elevation 13

MERCER

Maximum building height is 42'



Elevation 3



Elevation 4



Elevation 13



Elevation 10



Elevation 11



Elevation 12

STONEBROOK

Maximum building height is 42'



Elevation 51



Elevation 52



Elevation 53



Elevation 54



Elevation 55



Elevation 56

STONEBROOK

Maximum building height is 42'



Elevation 30



Elevation 31



Elevation 32



Elevation 57



Elevation 58



Elevation 59

STONEBROOK

Maximum building height is 42'





ELEVATION "4"

ELEVATION "8"

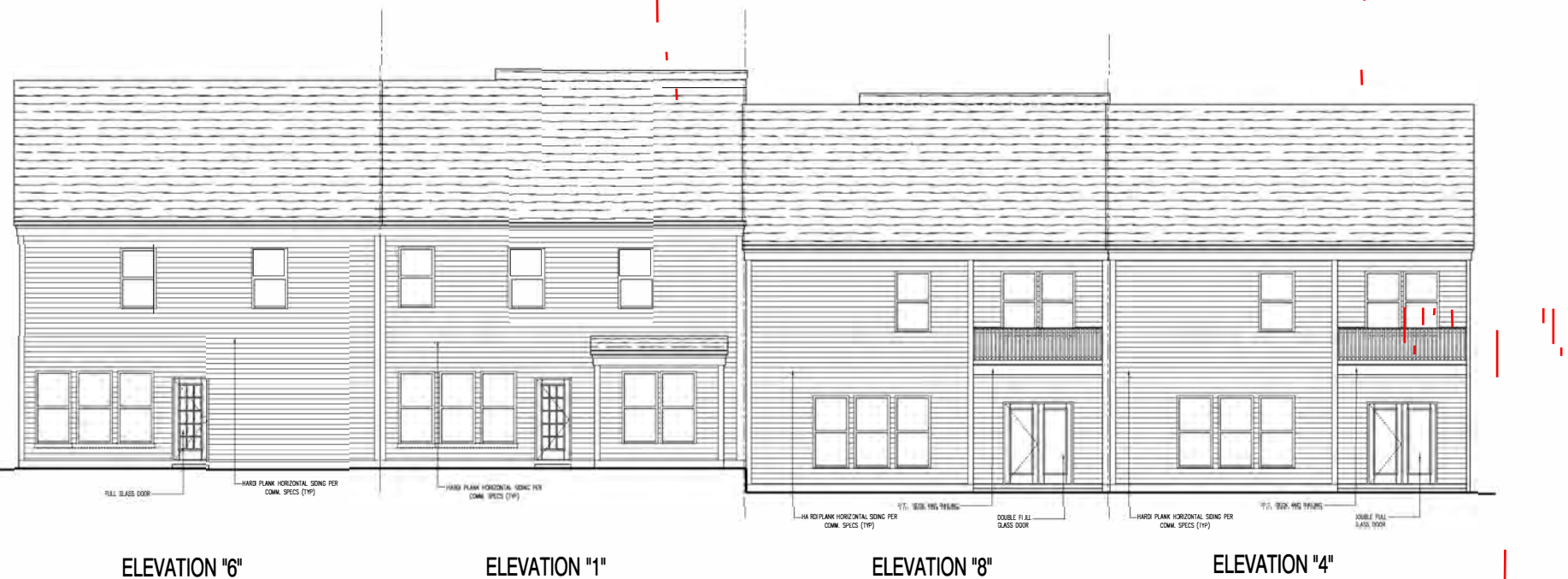
ELEVATION "1"

ELEVATION "6"

TYP 4-UNIT BUILDING FRONT ELEVATION



RIGHT SIDE ELEVATION



ELEVATION "6"

ELEVATION "1"

ELEVATION "8"

ELEVATION "4"

TYP 4-UNIT BUILDING REAR ELEVATION



LEFT SIDE ELEVATION

Maximum building height is 42'